



Pre Bid Meeting

**FOR THE PROCUREMENT OF; DESIGN & BUILD SERVICES FOR
THE NEW SAVALALO FLEA MARKET RE-DEVELOPMENT PROJECT (SFMP), APIA**

Date & Time: Monday 10 July 2023 at 11.00am (Samoa Time)

Address: Tui Atua Tupua Tamasese Efi (TATTE) Building

Conference Room, Level 1, Sogi, APIA, Samoa

Table 1: Present at the Meeting at TATTE Building

Organisation	Name of Representatives	Role
SLC	Ulugia Petelo Kavesi UPK	General Manager
	Faletoa Peniamina Vitale FPV	Manager Investment
	Tagaloa Tofiga Tusiane TTT	Manager Legal Services
	Morayma Ah Kuoi MAK	Information Technology
NZHC	Measina Meredith MM	Senior Development Programme Coordinator
TGA	Leiataua M. Tom Tinai LMTT	Project Manager for the SFMRP
	Anne Godinet Milbank AGM	Architect (Subconsultant to TGA)
TEC	Malama Jasmin Siamomua MJA	Environmental Social Safeguards ESS

Legend:

SLC: Samoa Land Corporation

NZHC: New Zealand High Commission

TGA: Tinai, Gordon & Associates Limited

TEC: Think Environ Consult



Table 2: Present Online at the Meeting

Name	Company	Country
Roger Dowling	BECA	NZ
Lauren Watson	MFAT NZ	NZ
Shishir Malviya	Pacific Engineering Projects	NZ
Carinnya Feaunati	Designgroup Stapleton Elliot w/ Sucon	NZ
Jack O	EDC w/ LJ Construction	NZ
Conrad Beer	Reeves International	Aus
Esekia Faiga	Pou Architects	NZ
Maneesh Mohinesh	Austrade	Aus
Michael Rasmussen	Late sign on	
TUALA RICH	Late sign on	
Leslie Mua	Late sign on	

Meeting Minutes

<p>1. Project Manager LMTT to kick off the meeting</p>	<ul style="list-style-type: none"> • Kick off the meeting • Welcoming the attendants • Go through the agenda • Confirming all online participants can hear the meeting. • Introduce the Client of the project, SLC the Implementing Agent and the Project Management
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	Consultant team, TGA
2. Prayer	<ul style="list-style-type: none"> • Conducted by Pastor Tagaloa Tofiga Tusiane
3. Address by the SLC General Manager UPK	<ul style="list-style-type: none"> • Traditional welcome in Samoan & then in English. • Welcome and acknowledging the presence of: <ul style="list-style-type: none"> ➢ High Commission representative ➢ Steering Committee Group SCG ➢ Project Working Group PWG ➢ Project Management Consultant Team ➢ All attendants in-house and online <p>The following are key items addressed by the SLC GM;</p> <ol style="list-style-type: none"> 1. Flea Market Re-development is a major undertaking and high priority in infrastructure projects for Samoa . 2. The Project is co-funded by the Government of New Zealand (GNZ) and the Government of Samoa (GoS) 3. Earlier this year this grant funding arrangement was signed between the GoS and the Govt of NZ by the Right Hon. Nanaia Mahuta; NZ Minister of Foreign Affairs and the Right Hon. Mulipola Anarosa Ale Molioo; Minister of Finance of the GoS 4. Revealing the contributions of; <ul style="list-style-type: none"> ➢ SAT \$ 20m (= NZD \$ 12m) by the Government of NZ ➢ SAT \$10m by the Government f Samoa <hr style="width: 10%; margin: 0 auto;"/> <p style="text-align: center;">SAT 30m. total</p> 5. The GoS has committed to successfully rebuild the Savalalo Flea Market on the original waterfront location in conjunction with the ongoing Urban Apia Waterfront Development. 6. Outcomes to be achieved are sustainable recovery of



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local construction industry private sector local vendors improving gender inclusive job creation small businesses that will have the opportunity to be vendors in the Flea Market Facility.

7. To create a positive impression to tourists and strengthen the recovery of the tourism sector.
8. That the new building facility will be an icon and landmark in the Urban Apia.
9. Stage 2 is comprised of the Detailed Design component of the "Design and Build" Project. Stage 3 is the Construction component of the "Design and Build" Project.
10. The objective of this meeting is to clarify any questions from bidders and to be compliant with the bidding requirements.
11. We welcome inputs comments and questions.
12. The Project Manager's team will try to answer all questions today but if not then we will prepare answers in written addendum or updated RFI's.
13. Minutes from this pre bid meeting will be included in the addendum (and will email to all registered bidders in their registered email address).
14. Bidders are advised that all questions for clarification must be submitted to the PM a week before the close of tender. Thus the cut off date for all queries is on 28 August 2023 at cob.
15. Thanks to all who are able to join us today for the pre-bid meeting; the representatives from the construction industry, consultants and interested individuals and the representatives from the NZHC and the Govt of Samoa and SLC and the Project Manager team present today, as well as prospective



	<p>bidders watching form overseas.</p> <p>16. Thanks to the Project Working Group committee and the Steering Committee.</p> <p>17. The GM declared that the Prebid Meeting was then open</p>
<p>4. Introduction of the Project and Bidding Documents presented by the Project Manager - LMTT of TGA</p>	<p>1. The bidding process was summarized in 3 Parts;:</p> <ul style="list-style-type: none"> ➤ Part 1 Bidding Procedures ➤ Part 2 Employer’s Requirements ➤ Part 3 Contract Documentation <p>2. All bidding documents are on the website and accessible after a bidder is registered on line. Bidders who have access problems online can still bring their FD’s to the SLC office to download the bid documents. It was clarified during the prebid meeting that all bidders were able to access the files online.</p> <p>3. A house keeping note advising the audience that after the presentation and questions/answers session, then light refreshment will be served followed by a site visit across the Beach Road in front of TATTE Building.</p> <p>4. Project timeline:</p> <ul style="list-style-type: none"> > Stage 1 Competition of a Concept Design (100% complete) > Stage 2 Design and Build Procurement - we are currently at the tender administration phase and this pre bid meeting is part of it and a phase of D&B procurement. Bid closing for the Design and Build bid submission is 4th September 2023. Refer RFP Bid Documents. <p>5. The Project Site plan was presented on the screen, the</p>



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total area of land available for the new Flea Market building is 6500 square meters or approx. 1.6 acres. The current site is fenced off by a chainlink fence that runs pretty much along the legal boundaries. The site has been cleared living the exposed concrete slabs from the old Flea Market building. There are two existing buildings; the old Agriculture Store Building and a Food Stall Building, these 2 existing buildings will be demolished soon, by a separate contractor, tender for demolition of these buildings is underway and completion of demolition is expected to be completed in 5 weeks or about end of August 2023. The 6500 m² site will be left in a clean state with the existing concrete slab exposed. It is up to the contractor if the slab will be removed or remain, refer Employer's Requirements. The bidder must allow in his bid for the removal of the existing concrete slab in preparation for the foundation and site works for the new building facility.

6. The original Concept Design that won the Stage 1 (Competition for Concept Design), was prepared by SUCON and has been selected by the Client (Cabinet approved). The Concept Design was tendered out openly (in Samoa and overseas, through online and local Samoa Observer to satisfy the Government's procurement. Owner's Requirements was issued in the scope of Stage 1. The evaluation of tenders received was based on the criteria of evaluation approved by the Client.
7. Compliance requirements must include blending the design and construction to compliment the Apia Waterfront, along the Apia Harbour frontage.



8. The design must comply with the Samoa National Building Code NBC 2017 which also references the Australian and New Zealand standards.
9. Following the acceptance of the initial Concept Design by SUCON, the Client has modified the ground floor space layout with adding a mezzanine floor on one pavilion on the eastern side to house SLC office space for the building management staff. Toilets and services areas were also modified to comply with the Samoa Building Code NBC 2017 to satisfy space requirements, foot traffic, convenience and customers movements, services, carparking, etc. The external look and aesthetic of the perimeter façade all round as shown in the initial Concept Design by SUCON must be incorporated as close as possible to that look and artwork but can be modified with justification.
10. The bidders must do their own homework and due diligence to ensure the floor plans and layout of the ground floor space is compliant with the Employer's Requirements and the Samoa Building Code. Refer Preliminary Design floor plan for the ground floor and mezzanine floor and roof geometry including the 3D in Revit.
11. Carparking requirements must satisfy the Parking Policy and Standards of PUMA July 2006 for the Development Consent.
12. Refer Site Plan: The eastern side will be used as the services area for collection of rubbish, location of the collector septic tank, Gas bottles for cooking,
13. Mezzanine floor on parts of the the east wing will house some offices for the Owner to manage the



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facility, this level overlooks the ground floor. Separate toilets at this level are to be allowed for.

14. Roof Design - The initial Concept Design by SUCON shows internal gutters, which can be potential maintenance issue for water leaks.

Bidder to consider the avoidance of internal gutters on the roof and use external gutters on the eave around the perimeter of the roof. Refer 3D Revit Model in the Preliminary Concept design.

15. The Owner wants the external look of the perimeter façade wall all around all the 4 sides of the façade to be similar to the SOUCON Concept Design and bidders are asked to retain this look or close to it.

16. The Project Manager introduced Anne G Milbank, an architect by profession, she is a member of the Project Manager's team who is managing the Flea Market project on behalf of the Client.

AGM explained as follows:

- i) The Preliminary Design is in Revit format which has been sent out with the bidding documents to assist bidders to understand the modified floor plans and providing some birds eye views on the external and internal of the new building.
- ii) The 3D view you see on the screen shows the intended layout of the inside of the food court in a U shape to rationalize the provision of services to the food stalls to reduce the amount of services under the slab serving those units.



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	<ul style="list-style-type: none">iii) The floor plan layout on the west side is for stalls and dry goods. The shops are shown located on the perimeter which are more enclosed like traditional shops while the ones in the center are temporary open stalls. The services/utilities core has been moved to the eastern side adjacent to the services area on the eastern side of the site. This is done to comply with the Building Code and PUMA requirements.iv) The east wing also houses food retail units and serviced retail units for barber shops, nails salons, tattoo shops, etc. with water supplied. All units must have access to adequate power points.v) It's really up to the bidder to further develop and rationalize the floor plan(s) to increase net lettable areas and to maximize utilization of space whilst still complying with construction and planning laws of Samoa.vi) 3D images show general aesthetic and layout of different types of retail units. The Internal street (thoroughfare) between the two pavilions is to be covered with see through cladding like safety glass to allow natural lights to allow people to pass through under cover and a public corridor for foot traffic to also allow small blocks for ATM, Vodafone or Digicel sales, Ice cream / drinks, information desks, etc.vii) Up to the bidder to do their own research on lighting and ventilation requirements -
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	<p>dependent on their proposed façade and roof design.</p> <ul style="list-style-type: none"> viii) Need main shopping spaces to be naturally ventilated. ix) Seeking robust finishes that can cope with wear and environment. x) We took inspiration from images shown with a mix of permanent shops and temporary stalls in a large open space.
<p>Part 1: Bidding Procedures Presented by the Project Manager - TGA)</p>	<p>1-1. Procurement Overview Refer details in the bidding documents Construction budget is SAT \$25m.</p> <p>1-2. An open competitive selection with a 2 envelopes submission of Technical and Financial bids are required.</p> <p>1-3. Bid weighting is 60% Technical and 40% Financial.</p> <p>1-4. Client and Tenders Board reserve the right to open the financial envelope whether bidders meet or not meet the minimum 60 point in the technical evaluation. The scoring and calculations are explained in the bidding documents.</p> <p>1-5. All bids to be in Samoan tala currency.</p> <p>1-6. Bidding closes on Monday 4th September 2023.</p> <p>1-7. Important to note the modes of bid submissions where both hard copies and e-copies MUST be submitted. See Bid Data Sheets in RFP.</p> <p>1-8. Submissions of queries from bidders will be allowed until 1 week before closing. Answers and clarifications will be issued in the updated RFI's.</p> <p>1-9. Design and Construction methodology is very important and needs to be comprehensive. The scoring of</p>



	<p>the methodology is given in the evaluation criteria.</p> <p>1-10. Supplementary technical information will be used for the required technical forms.</p> <p>1-11. The Qualification and Evaluation points system is as shown in the bidding documents.</p> <p>1-12. There are 8 Technical standard Forms and these TECH Forms must be filled and submitted as required.</p> <p>1-13. Financial bid Forms should quote Design Phase and Construction Phase as lump sum.</p> <p>1-14. Supplementary bid forms for equipment and financial position of company. The evaluation panel will use these to assist in their assessment. For example; in the case of plants and equipment, it is up to the contractor to list their equipment as "owned" or "leased" and they can submit proof of ownership or proof of "leased" arrangement. This must be explained in the methodology.</p>
<p>Part 2: Employer's Requirements (Project Manager - TGA/AGM)</p>	<p>2-1. Employers Requirements have a list of submissions.</p> <p>2-2. Employers Requirements document is accessible online</p>
<p>Part 3: Contract Documents (Project Manager - TGA)</p>	<p>3-1. Contract Documents - Bidders are being informed that these Contract Documents comprise the "General Conditions of Contract" and "Special Conditions of Contract" to be used in the Contract Agreement.</p> <p>3-2. The Contract Documents : bidders are advised that they make themselves familiar with these documents</p>



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	during the bidding stage and ask any question for clarification.
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CLARIFICATIONS & ANSWERS TO QUERIES FROM BIDDERS

<p>1. CLARIFICATIONS</p>	<ol style="list-style-type: none"> 1. General Clarification: There is an updated RFI Register which is updated weekly or daily. The updated RFI's Register is a different document accessible both online and will be issued via emails to all bidders 2. General Clarification: The updated RFI list is emailed out to all registered bidders and placed on SLC website for newly registered bidders. 3. General Clarification: If bidders have internet connection problems and can not download or access online, please contact via email the Project Manager tom@tinaigordon.ws or contact persons in the Bid Data Sheet in the RFP.
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4. **Question:** Bidder Clarification regarding Owners Requirements - The Concept Floor Plan is different from Preliminary Floor Plan.

Which is the correct one?

Answer: The Initial Concept Floor Plan does not comply with the Samoa Building Code for minimum areas and space requirements. So the Preliminary Floor Plan(s) was prepared by the client post Concept Design stage, by modifying the initial Concept Floor Plan by SUCON, in order to comply with the Samoa Building Code NBC 2017 and to also to accommodate Clients additional requirements for including additional toilets and cleaners and storage space plus new office space for the client to manage the facility during operation. The modifications as shown in the Preliminary Floor Plans for the ground and mezzanine floors will improve functionality and operation.

5. **Question:** Is the waste disposal from the site on a daily basis?

Answer: Yes daily

6. **Question:** Can you advise locations of the existing services on the survey topographical plan?

Answer: the stormwater pipe 1.4m dia is shown on site plan and topographic survey. Will reissue to bidders the



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plans showing other services like; power supply, cold water supply, pressure sewerline. Example the Pressure Sewer System line is located parallel to the north boundary line of this site on the side next to the bus stops. Other services will be reconfirmed if as-builts are available from the utility services providers. Otherwise, bidders are responsible to check these information themselves with the local authorities.

Bidders are advised also that all sewer wastes in the Apia CBD including the new Savalalo Flea Market Facility shall be allowed for connecting to the Pressure Sewer System all connected to the treatment plant at Sogi. It is by law that all developments in the CBD are connected to the PSS. Bidders must liaise with SWA for all sewer connections and cold water supply Connections and allow in your bids.

7. **Question:** Are bidders required to undertake Geotechnical investigation during tender period or after. And how would foundation be designed without Geotech

Answer: Bidders must allow in their bids to carry out their own geotechnical investigations after the bidding stage for the design of foundation works. Given the size of the new building which is like an open warehouse with a high roof and open inside, 9m high at eave level, bidders should be able to make allowance for the number of boreholes and depth of boreholes required.

For the information of bidders, there was an invitation that went out open and public both online and in the



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local paper (Samoa Observer) for geotechnical investigation. A scope of works was also included. BUT there was response and no submission received at closing date. This advert lasted for 4 weeks. The client was hoping to get this investigation done and completed with a geotechnical and factual report ready and issue as an addendum before the bids close on 4th September. The other challenge was the availability of the drilling rig in the country.

Note at present that there is only one drilling rig in Samoa that is owned by the Government's Ministry of Natural Resources & Environment (MNRE) and depending on availability, it is difficult to do this investigation at this time with so many other projects happening where this one rig is tied up. For this reason, it is preferred that bidders allow for their own geotechnical investigation to be carried out AFTER the award of tender. Bidders are also free to supply their own drilling rig if the local rig is not available. A geotech report must be prepared and submit a copy to the Client through the project manager for records and as part of the submittals of the design document for client review during the design component of Stage 2.

8. **Question:** Can a bidder do his own preliminary investigation by using backhoe to dig test pits to get some information for foundation design?

Answer: Yes they can but note that backhoe can only dig down a couple meters deep due to limited length of the bucket arm. So the information would be limited. Bidder



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should engage their geotech engineers to make this call and allow for in their bids. It is up to the bidder to do his own prelim investigation, however they do it, before closing of bids.

9. **Question:** Better and standard for the client to provide same geotech details to all bidders before closing of bids.

Answer: Yes and no.

In this case at this time with the availability of only one rig in the country, we like the bidders to allow in their cost to carry out their own geotechnical investigation and complete a geotechnical report and use it for the foundation design. This is a Design and Build project and bidders shall allow for in their bids. Additionally, the LTA Laboratory at Vaitele can perform certain soil tests (eg Particle Size Distribution PSD, Atterberg limits, natural moisture content and shrinkage). LTA does not have the gears for rock testing meaning you should allow for sending rock samples overseas for lab tests. Bidders must check with LTA to confirm and what other tests they can do here.

10. **Question:** Concerning whether land is filled and what level the water table is. Major consideration for anyone designing foundations.

Answer: This is what bidders would allow for in their own geotechnical investigation, you are responsible for this.



11. Question: Is there a cost schedule for the design stage?

Answer: Refer Financial Forms in the RFP.

A very simple financial breakdown with only two items to price;

1. Design (lump sum)
2. Construction (lump sum)
3. Only one currency in Samoan Tala
4. Bidders must prepare a proposed payment schedule submitted with their bids.
5. Design phase would be on deliverable milestones eg 50% and 90% and 100% completion of design;
AND
Construction phase payment claims would be monthly.

12. Question: Clarify Time of Completion

Answer: Total duration of Design & Build is 18 months;

Design 5 months

Construction 13 months

Defects Liability Period 12 months

Bidders must submit their proposed bar chart or Gantt Chart showing dates (start and finish) of;

- Contract signing
- Design phase



	<ul style="list-style-type: none"> • Construction phase • DLP • Show review period eg 2 weeks by client and a clear critical path. <p>Show detailed breakdown of work tasks to also reflect the progress during the CHOGM (Commonwealth Heads of Governments Meeting) in October 2024. Significant progress in construction to showcase this iconic project, stressing that it would be good to see the external façade in place or work in progress for that component of the works whilst tourists and visitors are in town for the CHOGM.</p>
	<p>13.Question: Would SLC be able to dig using an excavator to get a soil profile and determine water table level to give an idea of what is underneath and provide details so everyone is on the same page.</p> <p>So is it possible to bring our own excavator on site to do some soil profiling. Would we need SLC consent to carry this out?</p> <p>Answer: The contractors must allow to do their own prelim investigation if they so wish (but should get permission from Client prior) they could bring own backhoe/digger to excavate test pits. Could be considered to get the ball rolling when the</p>
	<p>14.Question: All engineers involved must be IPES registered is this required before bid or after the closing of bids?</p>



	<p>Answer: Only required after but engineers who are signing off will need to provide proof</p>
	<p>15.Question: Is there guidance to bidders to materials and construction of the external façade, there are no information on materials or how it is to be constructed?</p> <p>Are the wave lines shown on the surface of the external façade required to be on the finished constructed building?</p> <p>Answer: The original concept did not come with a detailed specification of construction material, that stage was only a Concept Design without details for the purpose of construction – bidders must come up with their own design to replicate that aesthetic of the external façade and its look and selection of material for construction.</p> <p>The wave lines along the façade is part of the chosen aesthetic. So yes they must be considered in the design.</p>
	<p>16.Question: Regarding the geotech boreholes, if there are 10 contractors there is too much coemption for the rig this sounds like it needs further consideration?</p> <p>Answer: This is the challenge, i.e.the availability of the only one rig in the country. Bidders must allow for alternatives like bring in their own rig to do field</p>



	<p>investigation. Bidders must liaise with the rig owner (MNRE) to check availability. Drilling needs to go down to check subsoil material, this being the responsibility of the geotech engineer to make such call, part of the design.</p> <p>It is recommended that bidders should allow to do their own investigation and recommend the appropriate foundation system. Note that the building is relatively light (simply a large warehouse). Soil bearing may not be the governing criteria for the foundation design, must also consider combination of vertical loads and wind actions adding more loads on columns.</p>
	<p>17. Question: Is SLC demolishing buildings and leaving slabs for contractor to deal with?</p> <p>Answer: Yes, the intention is to leave a clean site with the existing concrete slabs. It is up to the contractor to test the existing concrete slabs if it can be reused or not, as part of the new building floor, it is up to the contractor, but he must prove it.</p>
	<p>18. Question: Is the budget 25mil or 30mil dollars?</p> <p>Answer: 30m Tala is available but 25m is quoted, including a contingency. Insurance cover should be based in the 30m as given in the RFP</p>
	<p>19. Question: So, the Client wishes to retain the competition design façade and the contractor’s design team can change the roof and floor plan?</p>



	<p>Answer: Client is attracted to the concept design of the façade, but the floor plan has been changed to comply with Client’s requirements, the selected contractor will be required to work with the Client, post bid, to further refine and rationalize the overall building design. The design provided in the Employers Requirements is only a “preliminary design”. There are several types of lettable spaces and units for;</p> <ul style="list-style-type: none"> • food retail, • services retail, • shops and enclosure retails and • craft stalls. <p>The Design team needs to further develop a detailed design after consultation with SLC, post bid, should be more efficient and uses space better. Also interest in robust materials for ease of maintenance, serving, pleasant environment.</p> <p>Bidders are advised that their bid prices are a Lump Sum, which must allow for further refining and tweaking before the final design is agreed and sign off by the Client so the detailed design can proceed for the purpose of construction.</p>
	<p>20.Question: Allocation of units Are bidders expected to liaise with SLC or Govt agencies during tender period?</p> <p>Answer: Bidders are expected to do own research and request for information though the Project Management team.</p>
	<p>21.Question: What is each stall to be used for with regards</p>



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	<p>to servicing e.g., fish stalls have different requirements to dry goods stalls?</p> <p>Answer: Refer Employers requirements, each stall has its own specification, dry good, food retails and serviced retail (which would have water supply and gas and power. Same for hairdressers and tattoo studios etc.). Employer’s requirements has a table for each unit type specifying servicing requirements (number of power points, lighting etc.) but it is up to the Design team to develop this further (in compliance with the Samoa NBC and to Client’s satisfaction of its requirements). For example, the food retail units require preliminary (small) grease trap that will feed in to the main secondary (larger) grease trap, to protect unwanted solid and material that may enter the pressure sewer system.</p>
	<p>22. Question: Alignment of Pressure Sewer System - seeking location of the pressure sewer line, not visible in survey. Is there enough capacity to serve the new Flea Market development?</p> <p>Answer: The as-built PPS line is laid along the north boundary of the project site. We will send the exact location once received confirmation from SWA. Currently the CBS, Govt Building, and DBS and all other Govt buildings on sea side of the Beach Road are connected to this line. There will be no need to make and change(s) to the existing line, the capacity of the existing infrastructure (cold water supply, press sewer) are adequate for the the present time according to the SWA. But it is prudent that bidders must check with SWA and other Govt Authorities to check. Capacity in SWA PSS is sufficient for several years.</p>



	<p>Also an existing 1.4m diameter stormwater pipe along the west side of the site. Designer must check to ensure there is no backflow during storms and king tides.</p>
	<p>23. Question: With NZ as a major funding partner is there any design requirements to acknowledge that relationship?</p> <p>Answer: Has not really being considered in details but the Client will take it into account in the details finalization of the design. Eg relevant Logos and visibility images may be considered in the Name of the Plaque of the Project.</p>
	<p>24. Question: Can a design team member carry out more than one role?</p> <p>Answer: Personnel requirements are specific eg. A Structural engineer must be a registered CPEng and so as a civil engineer or electrical engineer unless they can prove they the same engineer is qualified and capable to fulfill both structural and civil roles. They must be working in their area of expertise. Requirements of IPES Samoa must be referred to for compliance to local jurisdictions.</p>
	<p>General Information:</p> <p>Bidders were informed that the latest topo survey plans (shown on the screens) show all RL's levels - based on mean sea levels.</p> <p>The Employers Requirements also require that the finished ground level for the new building shall be at RL 2.8. For example, the existing NPF Plaza ground floor has RL 2.8</p>



	<p>Any questions regarding Employers Requirements. Any difficulty downloading documents. Any additional question via email to the Project Manager at email: tom@tinaigordon.ws</p>
	<p>All RFIs will be answered in a timely manner however we believe that there is sufficient documentation for the bidders to provide well developed bid.</p>
<p>Conclusion address by the General Manager of SLC</p>	<p>We have come to the conclusion and the Board of Directors and Government thanks all for coming today.</p> <p>Reminder of bid closing on 4th September submitted to the Tender's Board as per RFP.</p>
<p>1. Lunch</p>	
<p>2. Site Visit (walk across to the Savalalo Market Site)</p>	<p>Minutes of questions and answers at the project site visit would have been recorded.</p>
<p>3. Closing</p>	<p>Soifua</p>